





**CITY OF DANIA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
STAFF REPORT**

DATE: September 11, 2012

TO: Robert Baldwin, City Manager

VIA: Marc LaFerrier, AICP, Director 

FROM: Corinne Lajoie, AICP, LEED Green Associate, Principal Planner 

SUBJECT: **WA-37-12 / SP-10-12** - The applicant, ACAI Associates, Inc., on behalf of Broward County Board of County Commissioners, is requesting a waiver and site plan approval for new bus depot, maintenance facility, administrative offices and associated parking garage at property located at 5440 Anglers Avenue.

WAIVER

To allow 21% pervious area, code requires 25% pervious area; per Section 215-130.

SITE PLAN

To allow the construction of approximately 215,000 square foot bus depot, maintenance facility, administrative offices and associated parking garage.

PROPERTY INFORMATION

EXISTING ZONING: Commercial (C-4)
LAND USE DESIGNATION: Industrial

The subject property is located on the east side of Anglers Avenue, immediately north of Tigertail Boulevard. The property is the current site of the Broward County bus facility. The property will remain in operation throughout construction of the proposed improvements.

WAIVER

The applicant is requesting a waiver to provide approximately 21% pervious area on site. Code requires 25% pervious area to be provided to accommodate storm water runoff on site and allows waivers to be granted by the City Commission if the applicant can demonstrate that special conditions exist resulting from project design and provided the following:

1. The volume of stormwater runoff that would be increased by granting the partial waiver shall be completely mitigated through design and construction methods, including but not limited to, underground stormwater storage vaults, French drains, green (landscaped) roofs that absorb stormwater, stormwater storage and reuse systems for irrigation, positive outfall systems, use of pervious ground stabilization systems where deemed appropriate by the city engineer, and other improvements to aid in the retention and filtration of stormwater runoff.
2. If a waiver is granted, the impervious are shall not exceed eighty-five (85) percent for industrial uses, eighty (80) percent for commercial uses and seventy (70) percent for residential uses.

The project meets these requirements and can adequately accommodate the storm water run off on site through the use of an exfiltration system shown on the site plan, which was confirmed by Public Services. Today there is a 7% pervious area, the proposed project will provide 21.8 percent. Therefore, staff is in support of this waiver request.

SITE PLAN

Site plan approval is being requested to allow the construction of approximately 215,000 square foot bus depot, maintenance facility, administrative offices and associated parking garage.

The existing site is old, run-down and provides no screening. The new site will be a significant upgrade, providing new structures that will be LEED certified with new landscaping and mobility enhancements such as bicycle racks, new sidewalks and shading of the sidewalks as a result of new landscaping being installed along the street frontages.

Redevelopment of the site will provide for screening the bus storage from street view by arranging the buildings adjacent to the street and locating the bus parking behind the buildings. Where the buildings do not separate the bus parking from the road a significant landscape buffer or privacy fence is provided.

The site plan provides access for the buses from a shared access point at the City's dog park to the north of the site. This shared access requires a separate approval by the City Commission. In exchange for use of the city's access, the County is providing enhancement to the dog park that include lighting, signage, additional parking, sod, sidewalk, trees, a bench and trash receptacles.

The project utilizes a 3-level parking garage. The Unified Land Development Code, Article 530(D) requires the city commission to consider the following issues when reviewing an application for development approval which includes a structured parking facility, utilizing the standards and principles set forth in this article:

- (1) Appearance and architectural treatments to minimize visual impacts, including the use of false facades, liner buildings, or opaque or substantially opaque screening along the perimeter of such structures to conceal parked vehicles from public view
- (2) Effectiveness of landscaping proposed for the top and sides of the structure at reducing the perception of bulk, enhancing the façade, screening the view of parked cars and internal views of the structure; and tying in with other landscape materials used on site to the extent applicable;
- (3) Effectiveness of landscaping, screening and buffering from adjacent single-family and duplex residential zoning districts and uses;
- (4) Lighting;
- (5) Compatibility with adjacent structures, including mass and bulk of structure;
- (6) Vehicular and pedestrian orientation and circulation; and
- (7) Safety and convenience of ingress and egress.

The site plan was reviewed by the Fire Marshal, Public Services, the City's landscape consultant and the Planning Division. The following staff comments must be addressed by the applicant prior to issuance of a building permit:

The project meets these requirements and can adequately accommodate the storm water run off on site through the use of an exfiltration system shown on the site plan, which was confirmed by Public Services. Today there is a 7% pervious area, the proposed project will provide 21.8 percent. Therefore, staff is in support of this waiver request.

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- (4) Lighting;
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- (6) Vehicular and pedestrian orientation and circulation; and
- (7) Safety and convenience of ingress and egress.

The site plan was reviewed by the Fire Marshal, Public Services, the City's landscape consultant and the Planning Division. The following staff comments must be addressed by the applicant prior to issuance of a building permit:

1. Drainage calculations and other drainage related details mentioned in the site plan review will be expected during construction permitting with the city (Engineering).
2. A disk containing the approved site plan (*.dwg file format in NAD83) is expected as part of the final submittal package (Engineering)
3. Please provide a digital copy of the final approved landscape plans in PDF format. This copy can be sent via e-mail to jfreedman@metriceng.com or submitted on a cd to the Community Development Department, attention Justin Freedman (Landscape Consultant).

CITY COMMISSION PREVIOUS ACTION

On August 14, 2012 the City Commission approved the plat on second and final reading.

STAFF RECOMMENDATION

WAIVER

Approve.

SITE PLAN

Approve, provided the waiver and shared access agreement are approved and the applicant addresses all outstanding staff comments.



City of Dania Beach, Florida
Department of Community Development
Planning and Zoning Division
 (954) 924-6805 X3643
 (954) 922-2687 Fax

Standard Development Application

- Administrative Variance
- Land Use Amendment
- Plat
- Rezoning
- Site Plan
- Special Exception
- Variance
- Other: Administrative Waiver (SEE APPLICATION TYPE SCHEDULE ON PAGES 3 & 4)

Date Rec'd: Aug. 27, 2012

Petition No.: WA-37-12

THIS APPLICATION WILL NOT BE ACCEPTED UNTIL IT IS COMPLETE AND SUBMITTED WITH ALL NECESSARY DOCUMENTS. Refer to the application type at the top of this form and "Required Documentation" checklist to determine the supplemental documents required with each application. For after the fact applications, the responsible contractor of record shall be present at the board hearing. Their failure to attend may impact upon the disposition of your application. As always, the applicant or their authorized legal agent must be present at all meetings. All projects must also obtain a building permit from the City Building Division. For more information please reference the **Dania Beach Land Development Code Part 6, Development Review Procedures and Requirements.**

Location Address: 5440 Ravenswood Rd, Dania Beach, FL 33312

Lot(s): _____ Block: _____ Subdivision: see attached legal description

Recorded Plat Name: Highland Park (Ravenswood Transit Facility Plat)

Folio Number(s): 5042 3307 0010 Legal Description: see attached

Applicant/Consultant/Legal Representative (circle one) _____

Address of Applicant: 2937 W Cypress Creek Rd Ste 200, Ft Lauderdale, FL 33309

Business Telephone: 954 484 4000 Home: _____ Fax: 954 484 5588

E-mail address: dwilkin@aecmworld.com

Name of Property Owner: Broward County

Address of Property Owner: 115 S Andrews Ave. Ft Lauderdale, FL 33301

Business Telephone: 954 357 6419 Home: _____ Fax: 954 357 6411

Explanation of Request: Waiver request to reduce surface pervious area
*For Plats please provide proposed Plat Name for Variances please attach **Criteria Statement** as per Section 625.40 of the Land Development Code.*

Prop. Net Acreage: _____ Gross Acreage: _____ Prop. Square Footage: 413,500 SF

Existing Use: Bus Maint Facility Proposed Use: Bus Maint Facility

Is property owned individually, by a corporation, association, or a joint venture? Broward County

AUTHORIZED REPRESENTATIVE

I/we are fully aware of the request being made to the City of Dania Beach. If I/We are unable to be present, I/we hereby authorize Donald Wilkin/ ACAI Associates (individual/firm) to represent me/us in all matters related to this application. I/we hereby acknowledge that the applicable fee was established to offset administrative costs and is not refundable.

I/we are fully aware that all approvals automatically expire within 12 months of City of Dania Beach Planning and Zoning Board or City Commission approval, or pursuant to the expiration timeframe listed in Part 6 of the Dania Beach Land Development Code.

STATE OF FLORIDA
COUNTY OF BROWARD
The foregoing instrument
was acknowledged

By: Steve Hammond
(Owner / Agent signature*)

BEFORE ME THIS 27th DAY OF August, 20 12

By:
Steve Hammond
(Print name of person acknowledging)

(Joint owner signature if applicable)

Notary M Kelly
(Signature of Notary Public – State of Florida.)



MERLENE KELLY
MY COMMISSION # EE 075302
EXPIRES: March 17, 2015
Bonded Thru Budget Notary Services

Personally known ✓ or Produced Identification _____

Type of identification produced: _____ or Drivers License _____

***If joint ownership, both parties must sign. If partnership, corporation or association, an authorized officer must sign on behalf of the group. A notarized letter of authorization from the owner of record must accompany the application if an authorized agent signs for the owner(s).**

NO APPLICATION WILL BE AUTOMATICALLY SCHEDULED FOR A MEETING.

**ALL APPLICATIONS MUST BE DETERMINED COMPLETE BY STAFF
BEFORE PROCESSING OCCURS.**



2937 W. Cypress Creek Rd. | Suite 200 | Fort Lauderdale, FL 33309

August 7, 2012

Via emailed: cchurch@ci.dania-beach.fl.us

Ms Corinne LaJoie, Principal Planner
COMMUNITY DEVELOPMENT DEPARTMENT
City of Dania Beach
100 W. Dania Beach Blvd
Dania Beach, FL 33004

Re: Request for Waiver
Ravenswood Bus Maintenance Facility
RLI No. R0890108R1

Dear Corinne;

Pursuant to Paragraph 215-130 (D) we hereby request a partial waiver of standard to the on grade pervious area requirement from 25% to 21%. As required the total impervious area will not exceed 80% of the total site area.

The design of the storm water system includes surface and subsurface means including a professionally engineered underground exfiltration system, including a positive outflow to a regional retention area located north of the site.

This request is based on the continued use of this site as a public transportation facility requiring open areas on the site for the fueling, washing, maintenance and storage of buses operating from this facility.

Sincerely,

Don Wilkin
Project Manager

Cc: Jalloul Jamil, Project Manager- Broward County
Stephen Botek- Botek Engineering

S:\Projects\11-011 G01 Ravenswood\01 Admin\1.03 Letters\Waiver ltr to Dania 8.7.12

Lajoie, Corinne

From: Donald Wilkin [dwilkin@aecmworld.com]

Sent: Wednesday, August 08, 2012 12:42 PM

To: Lajoie, Corinne

Cc: 'Jalloul, Jamil'; 'Stephen Botek'

Subject: Percolation area waiver

Corinne;

Outline below from Civil Engineer regarding percolation requirements and additional/surplus capacity of the underground system as referenced in the Waiver Request letter sent earlier.

Also included his verifying the provision for a positive outfall system, also referenced in the letter, and a clarification regarding the interchangeable use of the terms 'french drain' (as used in the Code section referenced in the Waiver letter) and 'exfiltration trench'.

Summary of the comparison between 25% pervious vs 21% pervious is as follows:

25%

Total Runoff - 100 Year 3 Day storm = 11.72 Ac Ft

21%

Total Runoff - 100 Year 3 Day storm = 12.03 Ac Ft

Difference = 0.31 Ac Ft.

Volume required in exfiltration trench = 0.37 Ac Ft

Volume provided in exfiltration trench = 0.90 Ac Ft

Difference = 0.57 Ac Ft. > 0.31 Ac Ft

Therefore we meet the criteria

Is the outflow to the lake considered a positive outflow?

Yes

While the term 'french drain' below is used my understanding is that exfiltration systems are actually interconnected french drains?

These terms are often used interchangeably. Our system is an exfiltration trench system.

Donald Wilkin, AIA
Associate Principal



City of Dania Beach, Florida
Department of Community Development
Planning and Zoning Division
(954) 924-6805 X3643
(954) 922-2687 Fax

Standard Development Application

- Administrative Variance
- Land Use Amendment
- Plat
- Rezoning
- Site Plan
- Special Exception
- Variance
- Other: _____

RECEIVED
FEB 09 2012
Planning Department

Date Rec'd: 2/9/2012
Petition No.: SP-10-12

(SEE APPLICATION TYPE SCHEDULE ON PAGES 3 & 4)

THIS APPLICATION WILL NOT BE ACCEPTED UNTIL IT IS COMPLETE AND SUBMITTED WITH ALL NECESSARY DOCUMENTS. Refer to the application type at the top of this form and "Required Documentation" checklist to determine the supplemental documents required with each application. For after the fact applications, the responsible contractor of record shall be present at the board hearing. Their failure to attend may impact upon the disposition of your application. As always, the applicant or their authorized legal agent must be present at all meetings. All projects must also obtain a building permit from the City Building Division. For more information please reference the **Dania Beach Land Development Code Part 6, Development Review Procedures and Requirements.**

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Lot(s): _____ Block: _____ Subdivision: See attached legal description

Recorded Plat Name: Highland Park, Plat Book 12, Page 12 BCR

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Applicant/Consultant/Legal Representative (circle one) ACAI Associates, Inc

Address of Applicant: 2937 W. Cypress Creek Rd. #200

Business Telephone: 954 484 4000 Home: NA Fax: 954 484 5588

E-mail address: dwilkin@aecmworld.com

Name of Property Owner: Broward County

Address of Property Owner: 115 S. Andrews Ave, Ft Lauderdale, FL 33301

Business Telephone: 954 357 6419 Home: NA Fax: 954 357 6411

Explanation of Request: Site Plan Approval

*For Plats please provide proposed Plat Name for Variances please attach **Criteria Statement** as per Section 625.40 of the Land Development Code.*

Prop. Net Acreage: _____ Gross Acreage: _____ Prop. Square Footage: 389,415

Existing Use: Industrial
Bus Maintenance Facility Proposed Use: Industrial
Bus Maintenance Facility

Is property owned individually, by a corporation, association, or a joint venture? Broward County

AUTHORIZED REPRESENTATIVE

I/we are fully aware of the request being made to the City of Dania Beach. If I/We are unable to be present, I/we hereby authorize Donald Wilkin/ACAI Associates Inc. (individual/firm) to represent me/us in all matters related to this application. I/we hereby acknowledge that the applicable fee was established to offset administrative costs and is not refundable.

I/we are fully aware that all approvals automatically expire within 12 months of City of Dania Beach Planning and Zoning Board or City Commission approval, or pursuant to the expiration timeframe listed in Part 6 of the Dania Beach Land Development Code.

STATE OF FLORIDA
COUNTY OF BROWARD
The foregoing instrument
was acknowledged

By: STEVE HAMMOND
(Owner / Agent signature*)

BEFORE ME THIS 25th DAY OF January, 20 12

By:

Merlene Kelly
(Print name of person acknowledging)

(Joint owner signature if applicable)

Notary [Signature]
(Signature of Notary Public – State of Florida)

Personally known X or Produced Identification _____

Type of identification produced: _____ or Drivers License _____

***If joint ownership, both parties must sign. If partnership, corporation or association, an authorized officer must sign on behalf of the group. A notarized letter of authorization from the owner of record must accompany the application if an authorized agent signs for the owner(s).**

NO APPLICATION WILL BE AUTOMATICALLY SCHEDULED FOR A MEETING.

ALL APPLICATIONS MUST BE DETERMINED COMPLETE BY STAFF BEFORE PROCESSING OCCURS.

Ravenswood Legal Description

LOTS 1 THROUGH 12, BLOCK 8; LOTS 1 THROUGH 24, BLOCK 1; LOTS 1 THROUGH 5 AND 16 THROUGH 20, BLOCK 2; AND LOTS 1 THROUGH 5 AND 14 THROUGH 17, BLOCK 7; TOGETHER WITH THAT PORTION OF WARFIELD AVENUE LYING ADJACENT THERETO; THAT PORTION OF SECOND STREET LYING ADJACENT THERETO; AND THAT PORTION OF RIDGE AVENUE LYING ADJACENT THERETO, ALL IN UNIT NO. 1, HIGHLAND PARK AS RECORDED IN PLAT BOOK 12, PAGE 12, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LESS THAT PORTION OF THE ABOVE SAID LOTS LYING WITHIN 55.0 FEET OF THE WEST BOUNDARY OF SECTION 33, TOWNSHIP 50 SOUTH, RANGE 42 EAST.

PLAT REVIEW

1. Please provide additional language in the plat notes clarifying the proposed use.

SITE PLAN REVIEW

1. **Incomplete information was provided. Further review and comment will be conducted by staff after additional information is provided by the applicant. See comments below regarding information still needed.**
2. **PLATTING: Provide letter from Broward County identifying whether this property needs to be platted or replatted.** Plat application has been submitted.
3. **RIGHT-OF-WAYS: Identify if r-o-w dedication is required.** Ravenswood Road is indentified on the Broward County Trafficway Map as an 80' right of way – 55' to center line exists. No dedication required.
4. **WATER: Identify projected water demand for the project.** Provided on civil plans.
5. **IMPACT FEES: Identify impact fees that will be required for the project.**
Impact fees provided to the applicant on 2-29-12. Water and sewer provided by the county.
6. **SIGNS: provide copy of master sign program for the development for staff approval.**
Maximum monument height allowed = 8 feet. Minimum street setback = 5 feet/25 feet from interior property lines. Maximum square footage allowed for monument on Anglers Avenue = 42 s.f./76 s.f. proposed; maximum square footage allowed for monument sign on Tigertail = 31.5 s.f./32 s.f. proposed. ~~Please provide square footage of sign area and revise height or request a variance.~~ Variance is required for sign area. Each variance requires an application, \$2,000 fee and written justification statement identifying how each criteria discussed in Section 625-40 are addressed.
7. Provide dumpster detail to ensure it meets the requirements identified is Article 290.
 - ~~a. Per Section 290-40, minimum interior length and width of enclosure to be 10'. It appears the proposed The detail provided on Sheet A-1.2 shows interior width is less than 10' Revise accordingly. 2nd time requested.~~
 - ~~b. Per Section 290-50(A) gates are to be constructed of sturdy metal frame and hinges with an opaque face material of wood or other solid material. Provide detail.~~
 - ~~c. Per Section 290-40, the enclosure shall be 6' in height. Revise accordingly.~~
8. ~~Identify width of landscape buffer provided in north west corner of site.~~
9. ~~USE – this use is considered a public/private parking facility with accessory fuel pumps and vehicle maintenance. Applicant to clarify use of property. Rezoning the property to an Industrial Zoning district is advised. Use must be discussed with City Attorney.~~
A text amendment adding "Bus depot for storage and maintenance of buses and related office facilities" use as a conditional use to C-4 was adopted on May 8, 2012 by the City Commission. ~~will be heard by the City Commission for 1st reading on March 27, 2012.~~
Sec. 110-290. Bus depot for storage and maintenance of buses and related office facilities.
The conditions required for a bus depot for storage and maintenance of buses and related office facilities to be permitted within the Commercial (C-4) zoning district are as follows:
 - (1) Subject site must have a minimum of eight (8) acres;
 - (2) Minimum garage/bay door set back of 50' from property line is required;
 - (3) The property must have direct access to a collector road way as designated by the Broward County Trafficways Plan; and

(4) Outdoor parking or storage of vehicles must be screened from view of any public street.

- ~~10. Minimum 50-foot setback required for repair bays and facilities. Provide dimensions.~~
11. It appears the building height exceeds 3 stories/40' maximum building height. Sheet A-5 shows parking level 4 at 44'8" and maint. Level 4 at 47'6". Clarify.
 - a. Per Section 725-30, building height is the vertical distance measured from +8 feet NVGD datum to the tie beam of top story. Identify height of dispatcher observation area.
 - b. Section 220-10 The following structures may exceed the maximum height limit of any zoning district by a maximum of 25%: rooftop structures, such as housing of elevators, stairways, skylights, ventilation fans, air conditioning or similar equipment required to operate and maintain the building, and cupolas, steeples, chimneys and other decorative rooftop projections, provided that the aggregate coverage of all such structures does not exceed 15% of the total roof area. Provide calculation to ensure the structures exceeding 40' does not exceed the 15% of total roof area.
- ~~12. Identify square footage of office space to calculate require parking. Revise accordingly. Revise parking space calculations identifying square footage of uses and associated parking needed for each use. Change use in parking space calculations from 'Warehouse Area' to 'Service or Repair' use.~~
- ~~13. Provide lighting plan.~~
- ~~14. Must meet the following Principal Arterial Design standards listed below.~~
- ~~15. Finished floor elevation required is FEMA plus 1 foot, per Section 220-10(c)~~
16. Fence – maximum height of 6' permitted in front yard. Maximum 8' permitted on side and rear. Revise accordingly or request a variance. Each variance requires an application, \$2,000 fee and written justification statement identifying how each criteria discussed in Section 625-40 are addressed. Provide fence detail, if chain link provide black vinyl coating.
17. Provide additional screening along the west and north property lines to screen the storage and parking of buses from public view as screening is now a condition of use. The Principal Arterial Design standards, Section 510-40(C) & (D) require tiered hedges and architecturally compatible walls. Please identify, as outdoor parking and storage of vehicles must be screened from view of any public street per condition of use.
- ~~18. Must obtain tree removal permit prior to removal or relocation of any tree.~~
19. Mobility – Per Section 605-30(K) a traffic study is required for all development generally in excess of 25 peak hour trips. Participation in the Voluntary Mobility Program identified in Article 295 is encouraged. See additional information attached.
20. This is the 3rd review of the site plan. Please provide an additional \$3,000 for additional review time by staff and consultant as the initial application fee covers 2 revised by staff (see application for clarification). This money will be set aside in a cost recovery account. The unused portion will be refunded upon completion of the project.
21. Show location of NVAL on site plan to ensure access points agree with plat.
- ~~22. Provide phasing plan.~~
23. Pervious area – Per Section 215-130, the minimum pervious area required is 25% of the site. Identify this calculation on the plans.

24. Minimum bicycle parking requirements identified in Section 265-51. Minimum for commercial & industrial uses is 10% of required parking.
25. Identify location of mechanical equipment. If located on roof, demonstrate that all mechanical equipment will be screened from view at street level and at adjacent residential property.
26. Provide street detail on Anglers Avenue showing landscape treatments adjacent to the property, and width of landscaped swale area.
- ~~27. Provide detail of green living wall.~~
28. Staff encourages relocation of as many existing trees as possible on site to be incorporated in the new landscape plan.
29. Bury power lines along Anglers Avenue frontage & provide large trees to help screen the building (comment added 7-10-12).
30. Provide light shield details to prevent glare from residential property to the west (comment added 7-10-12) or reduce pole height on roof deck of garage (added 8-2-12).
31. In the median on Anglers Avenue plant 24 inch caliber Oak trees spaced every 30 linear feet. Plans for roadway landscaping to reflect these trees prior to issuance of building permit (comment added 7-10-12).
32. Provide screening detail for the open space of the garage facing Anglers Avenue (comment added 7-10-12).
33. Up size trees on perimeter where feasible (added 8-2-12).

NOTES:

- Must meet the following Principal Arterial Design standards listed below.
- Must obtain tree removal permit prior to removal or relocation of any tree.
- Finished floor elevation required is FEMA plus 1 foot, per Section 220-10(c)
- Sec. 510-30. Appearance.

(C) Buildings facing a public street or interior courtyard space shall be architecturally emphasized through entrance treatment, fenestration, and building details. Buildings with more than one facade facing a public street shall provide treatment for each facade.

(H) Glass windows and doors must make up at least thirty-five (35) percent of the primary elevation of a corner site and fifteen (15) percent of the secondary elevation of a corner site, except where additional fenestration is required in the CRA form-based zoning districts. On ground stories, the minimum required glass façade area shall be measured between a height of two and one-half (2.5) feet and eight (8) feet above the abutting grade. The windows shall not be covered or opaque. Display is permitted provided there is functional cross-vision between the inside and outside of the store. Display windows should be accented with awnings or other architectural features.

(K) Work area or storage doors and open bays shall not open toward or otherwise be visible from any of the designated principal roads.

(L) Heating, ventilation and air conditioning equipment, duct work, air compressors, other fixed operating machinery shall be either screened from view or located so that such items are not visible from the designated arterial, adjacent residential properties or intersecting streets.

(N) A minimum distance of eight (8) feet shall be maintained between the front of any building, including any walkway immediately adjacent thereto, and the parking area. This space is to be reserved for landscaping, either existing or planned, and is required to have a minimum three (3)-foot wide strip for plant material. No such space is required at the sides or rear of the building unless there is an

adjoining residential use. This requirement is not applicable within the CRA form-based zoning districts.

- Sec. 510-40. Landscaping, walls and fencing.

(B) The use of landscape accents, such as planters and window boxes, shall be incorporated into the overall landscape design of the building and the site.

(C) Where hedges are utilized and adequate space exists, a tiered effect is required.

(E) Chain link, barbed wire and similar fencing along a designated arterial are prohibited. Where such fencing can be viewed from a designated arterial, landscaping, berming, or both shall be provided to minimize visibility from the designated arterial.

(F) Perimeter walls, if utilized, shall be architecturally compatible with the principal structure.



CITY OF DANIA BEACH

DEPARTMENT OF PUBLIC SERVICES

May 17, 2012

Engineering Comments

Site Plan: Ravenswood Bus Maintenance Facility (SP-10-12)

Drainage calculations and other drainage related details mentioned in the site plan review will be expected during construction permitting with the City.

A disk containing the approved site plan (*.dwg file format in NAD 83) is expected as part of the final submittal package.

Lajoie, Corinne

From: Navarro, Ronnie
Sent: Tuesday, August 07, 2012 3:12 PM
To: Lajoie, Corinne; 'Donald Wilkin'; Jalloul, Jamil
Subject: RE: Ravenswood Bus Facility

Exfiltration systems in general would address water quality issues not volumetric issues otherwise cost becomes prohibitive. I would rather suggest requesting a waiver.

Ronnie S. Navarro, PE

City Engineer
 Public Services Department
 City of Dania Beach

phone [954.924.3615](tel:954.924.3615)
 fax [954.923.1109](tel:954.923.1109)
 email rnavarro@ci.dania-beach.fl.us

From: Lajoie, Corinne
Sent: Tuesday, August 07, 2012 2:19 PM
To: Lajoie, Corinne; 'Donald Wilkin'; Jalloul, Jamil
Cc: Navarro, Ronnie
Subject: RE: Ravenswood Bus Facility

Please see the applicable code section below.**Sec. 215-130. Impervious area standards.**

- (A) *Maximum allowable impervious area.* To effectively provide for the drainage of stormwater the area of land covered by buildings, structures and impervious surfaces shall not exceed seventy (70) percent for industrial and commercial uses and sixty (60) percent for residential uses, excluding the CRA form-based zoning districts for which open space standards are provided in the district regulations of article 303.
- (B) For the purpose of this section, all other uses such as, but not limited to, community facilities, utilities, transportation and office parks, shall be included in the commercial use category. In mixed-use developments located outside of the CRA form-based zoning districts, the most restrictive of the applicable impervious area limitations shall be utilized.
- (C) *Allowable use of pervious area.* Subject to compliance with all other regulations, pervious areas may be used to satisfy requirements for landscaping and setbacks, buffer strips, drain fields, passive recreation areas and any other purpose that does not require compaction, or filling or covering of the ground with a material that prevents infiltration of water into the ground.
- (D) *Partial waiver of standard.* Upon demonstration by an applicant that special conditions peculiar to the location or physical characteristics of a particular site are present, or that special conditions resulting from the design of existing facilities, project design, or surrounding land uses are present, the city commission may grant a waiver from the impervious area standards, subject to the following limitations:
- (1) The volume of stormwater runoff that would be increased by granting the partial waiver shall be completely mitigated through design and construction methods, including but not limited to, underground stormwater storage vaults, french drains, green (landscaped) roofs that absorb stormwater, stormwater storage and reuse systems for irrigation, positive outfall systems, use of pervious ground stabilization



Pride in Service with Integrity

**Department of Fire Rescue & Emergency Services
Fire Marshal's Office
Dania Beach District**

103 West Dania Beach Blvd. • Dania Beach, Florida 33004
Office: (954)342-4262 • Fax: (954)342-4265

SITE PLAN REVIEW COMMENTS

Date: 7.31.12 **Site Plan No.:** SP-10-12

Time Required For Review: 2

Project: Ravenswood Bus Maintenance Facility

Sq. Feet: 389,415

Plan Reviewer: Robert Nance, Captain / Plans Examiner

Approved As Submitted

Denied

Approved With Conditions

Comments Must Be Addressed and Resubmitted Prior to City

PREVIOUS COMMENTS NOT ADEQUATELY ADDRESSED FROM 5/16/12 REVIEW

***This Fire Plans Examiner met with Bjorn Bucur on Thursday, May 10, 2012 to discuss the below comments. The deadline was already passed to re-submit a corrected site plan to address those comments. Mr. Bucur stated he would bring a corrected plan to the DRC meeting scheduled for Thursday, May 24, 2012.**

1. Clearly identify on the plans the fire protection system point of service. The point of service shall be identified as outlined in Florida State Statute 633.021.
2. Provide the Fire Flow Demand required for the structure(s). The attached affidavit must be completed, signed and sealed by the design professional of record, second request. See the attached sheet for further explanation. (Calculations and affidavit must be signed, sealed and submitted). Please refer to NFPA 1, Table 18.4.5.1.2 for further information.
3. Provide a Fire Hydrant Flow Test to determine the Water Supply for the site. See the attached sheet for further explanation.
4. Please remove fire department connection planned for inside the building. All fire department connections shall be installed outside the building.
5. Siamese Connections must be located within 100' of a fire hydrant.
6. A Knox Key Switch is required for the Parking Garage entry. (Please provide a note on the plan)
7. Knox Key Switches and/or Knox Pad Locks are required for all access gates. Indicate the type of gates at each access location (Manual vs. Electric). (Please provide a note on the plan)

8. Identify the locations, types and sizes of all fuel storage tanks. This information will dictate if an alternate method for fire protection (designed by engineer of record) will be required for this project. (Identify these on the plan)
9. Demonstrate all travel distances to all exits on all floors of all buildings OR provide drawings on sheets A-2, A-3 & A-4 in 3/32 scale or larger. (24 x 36 Life Safety Plan Sets not found in this review as indicated in response comments). Egress from the maintenance bays is not permitted through the paint shop. Provide additional egress from the maintenance shop to the exterior without passing through the paint shop.
10. Provide "NO PARKING" signage and yellow-painted curbs as directed by Dania Beach District Fire Marshal's Office. Provide a detail of the requirements on the plan.

ADDITIONAL COMMENTS MAY FOLLOW RE-SUBMITTAL

INFORMATIONAL ONLY

WATER SUPPLY

NEEDED FIRE FLOW REQUIREMENT FOR BUILDINGS

Identify the Needed Fire Flow Requirements for all buildings / structures. Fire flow calculations shall be prepared by a professional engineer currently licensed in the state of Florida for each newly constructed building. The Needed Fire Flow Requirement must be in accordance with N.F.P.A. 1 (2009 Ed.), Chapter 18, Section 18.4 for manual suppression efforts.

APPROVED WATER SUPPLY – HYDRANT FLOW TEST

Provide a Hydrant Flow Test to determine the available water supply to this project. The Hydrant Flow Test must be in accordance with the Broward County Amendments (Effective January 12, 2012) to the Florida Fire Prevention Code (2010 Ed.), Section F-112. This test must be performed by a qualified company of the builder's choice. In addition, the static pressure at the water main shall be determined by a recorded method (ie. water wheel) for a minimum twenty-four (24) hour period. The actual flow test must be witnessed by, and recorded data sent to the Broward Sheriff's Office Fire Marshal's Bureau, Dania Beach District in any area where water is being supplied by the City of Dania Beach Public Services.

If the water is being supplied by Broward County, the entire hydrant flow test is to be performed by Broward County O.E.S. Please contact the Broward Sheriff's Office Fire Marshal's Bureau, Dania Beach District at (954)342-4262 for determination of where the water is being supplied from.

The fire flow requirement for buildings providing or requiring Automatic Fire Protection Systems (AFPS) and/or Automatic Standpipe Systems (ASS) must be in accordance with the Broward County Amendments (Effective January 12, 2012) to the Florida Fire Prevention Code (2010 Ed.), Section F-112, NFPA 13 (2007 Ed.) and NFPA 14 (2007 Ed.)

Broward County Amendments to the Florida Fire Prevention Code

Amendments Effective January 12, 2012

F-112 – Automatic Sprinklers Required

F-112.1 – Fire flow testing of the Water Supply for Automatic Fire Protection Systems (AFPS) and Automatic Standpipe systems (ASS) using water as an extinguishing agent for new buildings and structures and existing buildings and structures where the AFPS and ASS are altered by more than seventy-five percent (75%) of their value shall be as follows:

- a. Fire flow test of the water supply for AFPS and ASS shall be in accordance with NFPA 291, Recommended Practice for Fire Flow Testing and Marking of Hydrants, Florida Administrative Code (FAC) 69A-60.005(2).
- b. Design for AFPS and/or ASS shall be calculated using a maximum of fifty (50) pounds per square inch (psi) as the static pressure to allow for drought conditions.
Example: If the results of a Fire Flow Test have a static pressure of eighty (80) psi, a residual pressure of seventy-two (72) psi and a flow of 1,300 gallons per minute (gpm), the design water supply for an AFPS and/or ASS would be a static pressure of fifty (50) psi, a residual pressure of forty-two (42) psi and a flow of 1,300 gpm.
- c. Design for AFPS and/or ASS at or below a static pressure of 55.56 PSI shall be calculated using a ten (10) percent reduction in the static pressure from the fire flow test to allow for drought conditions.
Example: If the results of a Fire Flow Test has a static pressure of fifty-three (53) psi, a residual pressure of forty-five (45) psi and a flow of 925 gpm, the design water supply for an AFPS and/or ASS would be a static pressure of 47.70 psi, a residual pressure of 39.70 psi and a flow of 925 gpm.
- d. Design for AFPS and/or ASS for the residual pressure shall be equal to the difference between the static and residual pressures as obtained from the fire flow test to allow for drought conditions.
Example: If the result of a Fire Flow Test has a static pressure of eighty-five (85) psi, a residual pressure of seventy-seven (77) psi, the difference in the static and residual pressures would be eight (8) psi which would be utilized for the drought condition water supply design criteria. If the result of a Fire Flow Test has a static pressure of forty (40) psi, and a residual pressure of (30) psi, the difference in the static and residual pressures would be ten (10) psi which would be utilized for the drought condition water supply design criteria.
- e. Design of the water flow for the AFPS and/or ASS shall be the same as that obtained from the fire flow test.
- f. The residual pressure at the required water flow at the connection to the water main for an AFPS and/or Ass shall not be less than 20 psi.
- g. The static pressure at the water main shall be determined by a recorded method for a minimum twenty-four (24) hour period.
- h. Fire Flow Test Data shall not be more than one (1) year prior to the plans, hydraulic calculation and submittals for the AFPS and/or ASS being submitted to the Authority(ies) Having Jurisdiction(AHJ's) for their review and acceptance. The results of the fire flow test shall be provided to the AHJ at the time of the submittal of the plans, hydraulic calculations and submittals for the water based AFPS and/or ASS.

FIRE DEPARTMENT ACCESS

“NO PARKING” SIGNAGE, PAINTED CURBS AND / OR FIRE LANE STRIPING REQUIRED FOR FIRE LANES, FIRE DEPARTMENT ACCESS ROADS AND IN FRONT OF FIRE DEPARTMENT CONNECTIONS

Fire Lanes, Fire Department Access Roads and the areas in front of the fire department connections, shall be designated by yellow painting, striping, or markings on the curbs and roadways.

1. Provide a curb detail note to indicate that all curbs are to be painted yellow.

2. All pavement markings shall be of thermoplastic paint.
3. Demonstrate that these areas are to be marked with freestanding signs with the wording, **“NO PARKING FIRE LANE BY ORDER OF THE FIRE DEPARTMENT”** or similar wording.
4. Such signs shall be 12 inches by 18 inches with a white background and red letters.
5. These signs shall be a maximum of seven feet in height from the roadway to the bottom of the sign.
6. These signs shall be within sight of the traffic flow and be a **maximum of 60 feet apart.** [1:18.2.3.5]

FIRE HYDRANTS & FIRE PROTECTION APPLIANCES

HYDRANT DETAIL REQUIREMENTS

Please provide fire hydrant detail in accordance with the following:

1. The center of a hose outlet shall be not less than 18 inches above final grade, (or where located in a hose house, 12 inches above the floor) [24:7.3.3]
2. The Steamer opening is to be 4 ½ inches in size with four (4) National Standard Threads per inch.
3. All fire hydrants shall be “traffic type” to break-away upon impact.
4. The fire hydrant main body valve shall open against the flow and shall close with the flow.

BLUE REFLECTIVE HYDRANT MARKERS

Provide one (1) blue double-reflective department of transportation type road marker (Roadway Pavement Marker (RPM)) to be adhered to the hard surfaces of the roadway in the middle of the lane nearest to, and directly in front of the newly installed fire hydrants. [AHJ]

IMPACT PROTECTION

Provide bollards consisting of three inch steel pipe buried at three feet deep, with three feet of height above ground level and spaced three feet apart, These bollards are to be filled with concrete and capped are acceptable. [24:7.3.5] [24:7.3.6] [13:8.15.1.3.2]

CLEARANCE REQUIREMENTS FOR FIRE HYDRANTS & FIRE PROTECTION APPLIANCES

Provide clearances of 7'6" in front of and to the sides of the fire hydrant, with a 4' clearance to the rear of any hydrant or fire protection appliance. [1:18.3.4.1]

HYDRANTS TO BE 40' OR MORE FROM BLDGS.

Hydrants shall be located not less than 40 ft. from the building or wall hydrants shall be permitted to be used where approved by the AHJ. [24:7.2.4]

LOCATIONS OF FIRE DEPARTMENT CONNECTIONS

Fire department connections shall be located:

1. On the street side of buildings.
2. Where fully visible and recognizable from the street or nearest point of fire department apparatus accessibility.
3. And arranged so that hose lines can be attached to the inlets without interference from nearby objects, including buildings, fences, posts, or other fire department connections. [14:6.3.5.1]
4. Not more than 100 ft. from the nearest fire hydrant connected to an approved water supply. [14:6.3.5.4]
5. On the same side of the roadway or fire lane as the nearest fire hydrant. [AHJ]
6. Within three ft. (3') of the curb line of fire lanes, streets. [AHJ]
7. In a place that will allow a space four feet (4') on both sides of the fire department connection centerline that must be kept open at all times.

SIGNAGE FOR FIRE DEPARTMENT CONNECTIONS

1. The FDC must be identified as to the building (complete address) or portion of the building it serves. Provide a permanent tactile sign at the FDC to meet the above requirement. [14:6.3.5.3]
2. Each fire department connection shall be designated by a sign having raised letters, at least 1 inch in height, cast on a plate or fitting that reads "STANDPIPE", "STANDPIPE AND AUTOSPKR" or "AUTOSPKR AND STANDPIPE". [14:6.3.5.2]
3. A sign also shall indicate the pressure required at the inlets to deliver the system demand. [14:6.3.5.2.2]

Landscape Plan Review: Ravenswood Bus Maintenance Facility



PZ Log Number: SP-19-12

Review Number: 4

Reviewer: Justin Freedman

Date: August 8, 2012

The following comments are based on a review of the landscape plan with a routing date of July 27, 2012, for compliance with the City of Dania Beach Landscape Code.

1. Please provide a digital copy of the final approved landscape plans in PDF format. This copy can be sent via email to jfreedman@metriceng.com or submittal on a CD to the Community Development Department, Attention: Justin Freedman.

END OF COMMENTS

August 8, 2012

Site Plan Review-Comment Responses

Ravenswood Bus Maintenance Facility
Site Plan Review No. SP-10-12
5440 Ravenswood Road
Dania Beach, Florida

Planning

These are the remaining comments received from the City on August 8, 2012

6. Pervious area – Per Section 215-130, the minimum pervious area required is 25% of the site. Identify this calculation on the plans (Planning). Where are these calculations provided?

Calculations shown on Sheet A-1. As indicated, on grade pervious area is 21.8% (22%). Waiver request letter and \$500.00 check included with this resubmittal.

9. Provide street detail on Anglers Avenue showing landscape treatments adjacent to the property, and width of landscaped swale area. Width of landscape area dimension not provided on site plan, clarify.

Width of landscaped areas on Anglers Ave shown on Sheet A-1. The widths vary due to ROW and turn lane requirements per Broward County Highway Engineering.

10. Provide light shield details to prevent glare from residential property to the west (comment added 7-10-12) or reduce pole height on roof deck of garage (added 8-2-12) (Planning).

Cut sheets of light shield details sent to the City of Dania on 8/7/12.

11. In the median on Anglers Avenue plant 24 inch caliber Oak trees spaced every 30 linear feet.

Work in the median on Anglers Avenue is outside the scope of this project and is being addressed directly by the County under a separate agreement.

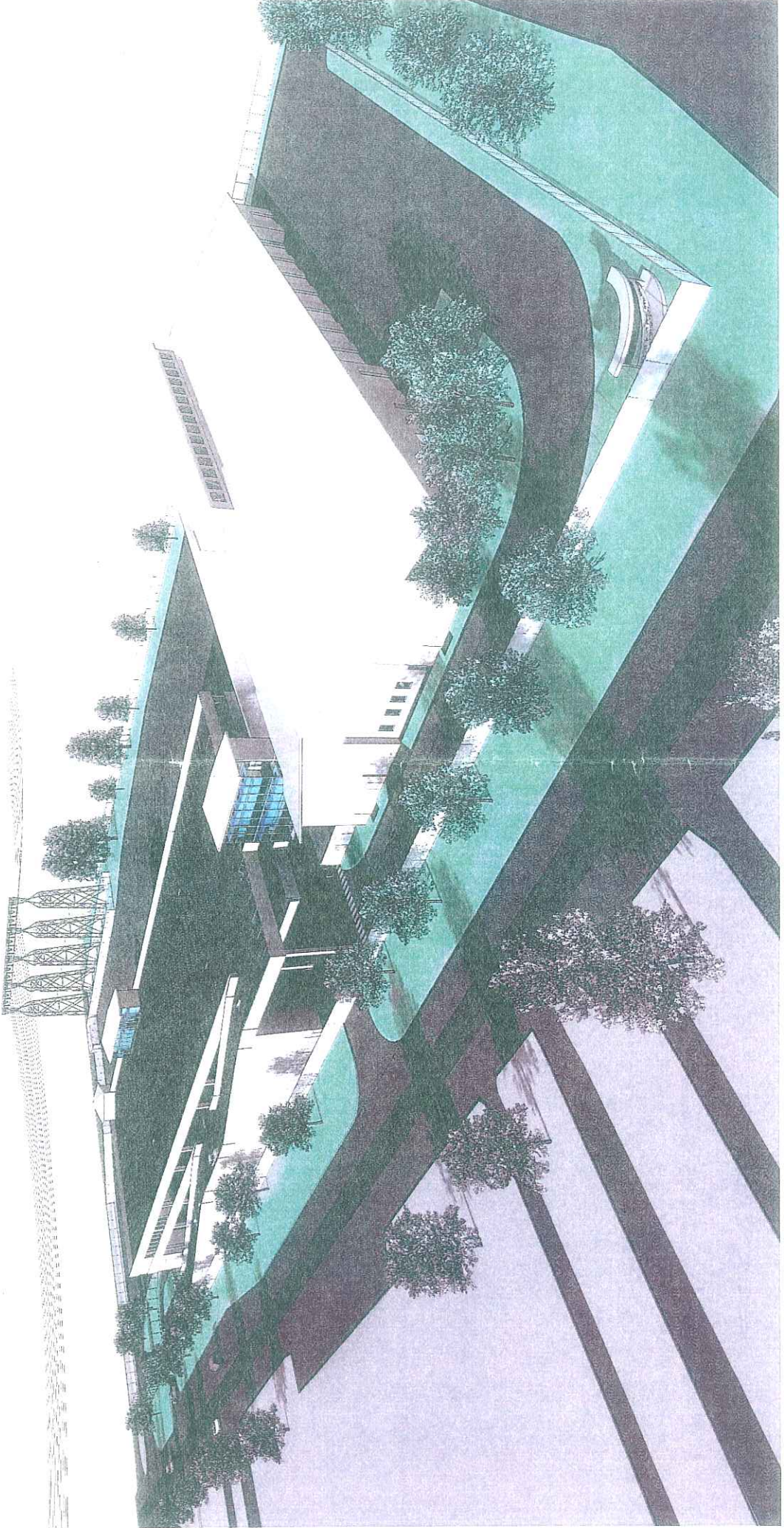
12. Up size trees on perimeter where feasible (added 8-2-12) (Planning). This is a new comment that has not yet been satisfied.

This is a new comment received after the 7/26/12 site plan resubmittal. Revised landscape plans showing the new tree sizes agreed upon by the City and County are included with this resubmittal

Fire Comments

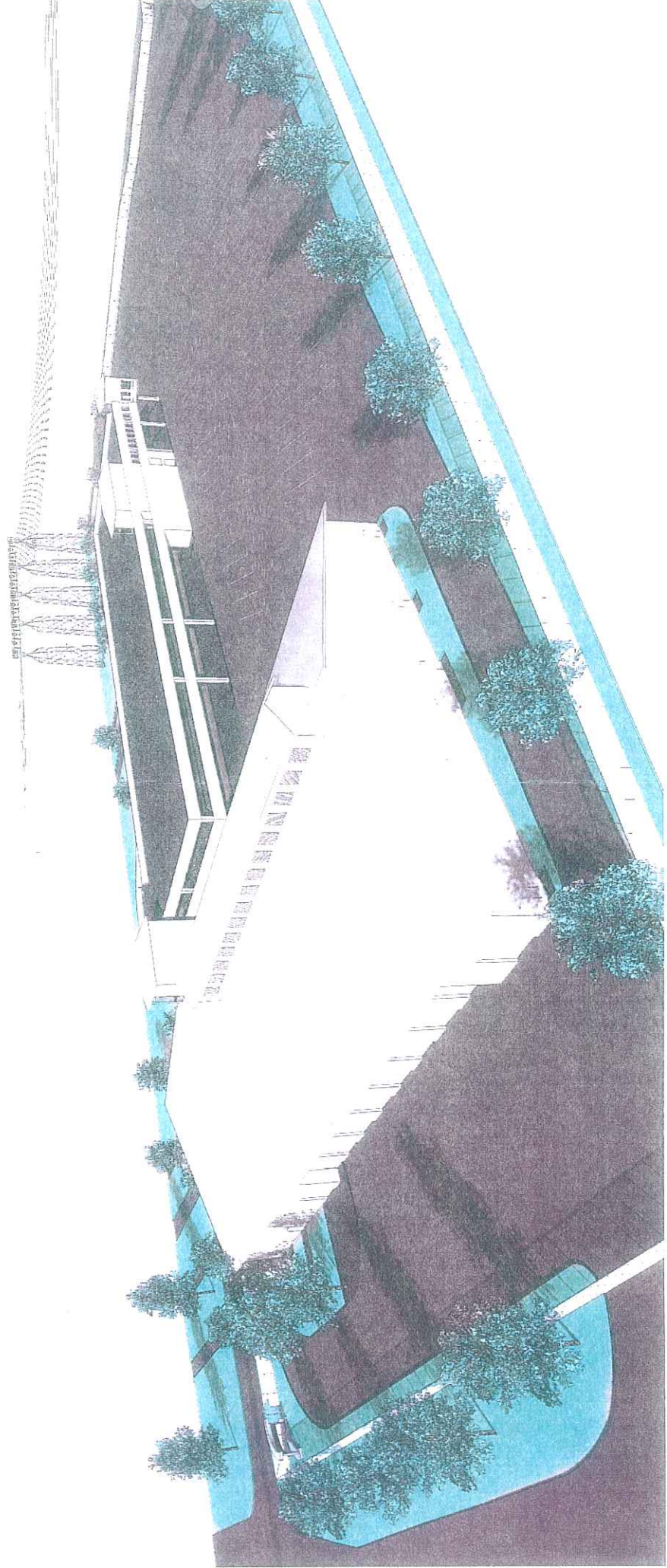
Submitted with plans on July 26, 2012.

Donald M. Wilkin, RA
Associate Principal









DATE: 01/11/11
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 PROJECT NUMBER: 11-011 G01
 SHEET NUMBER: LA-105

REVISION	DATE	DESCRIPTION
1	01/11/11	ISSUED FOR PERMITS

PROJECT TEAM
 PROFESSIONAL IN CHARGE
 JOSHUA B. BROWN, P.E.
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 12000
 APPROVED BY
 [blank]
DESIGNED BY
 [blank]
DRAWN BY
 [blank]
CHECKED BY
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 TALLAHASSEE, FL 32310
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BROWARD COUNTY
RAVENSWOOD BUS
MAINTENANCE
FACILITY

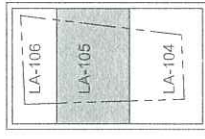
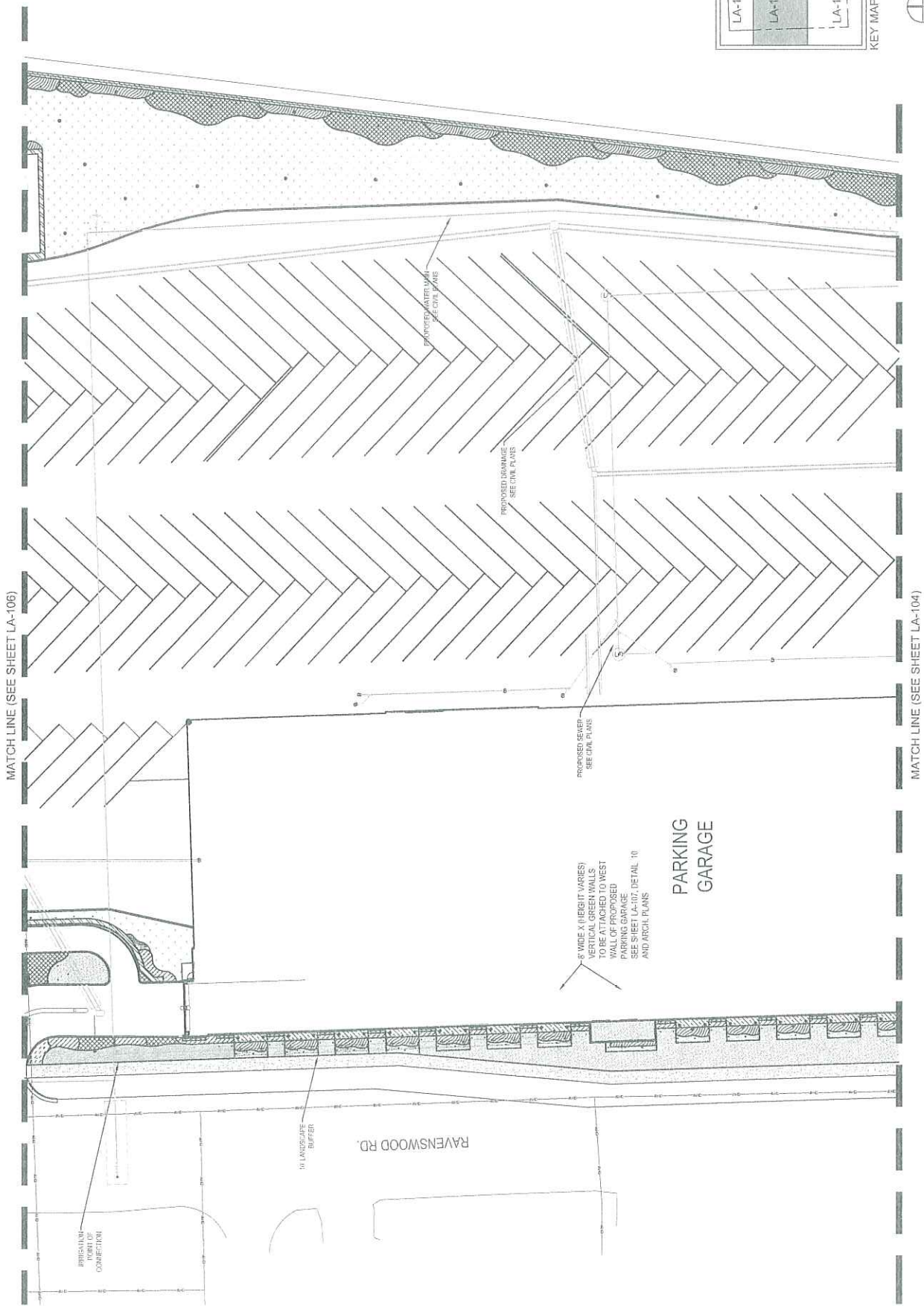
LANDSCAPE
 SHRUB PLAN

SHEET TITLE

ACAI
 ARCHITECTURAL CONSULTANTS
 1400 WASHINGTON ROAD
 TALLAHASSEE, FL 32310
 TEL: 904.204.1100
 FAX: 904.204.1101
 WWW.ACAIARCHITECTS.COM

PROJECT NUMBER
LA-105

SHEET NUMBER
 11-011 G01



KEY MAP



GRAPHIC SCALE IN FEET
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PERIMETER OF EXISTING CONCRETE

DATE: 01/11/11

DRAWN BY: [blank]

CHECKED BY: [blank]

PROJECT NUMBER: 11-011 G01

SHEET NUMBER: LA-105

SHEET TITLE: LANDSCAPE SHRUB PLAN

ARCHITECT: ACAI

PROJECT NUMBER: LA-105

SHEET NUMBER: 11-011 G01

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DATE	08/11/11	SCALE	AS SHOWN
PROJECT	BROWARD COUNTY RAVENSWOOD BUS MAINTENANCE FACILITY		
ENGINEER	ACCAI		
PROJECT NO.	11-011 G01		
DATE	08/11/11	SCALE	AS SHOWN
PROJECT	BROWARD COUNTY RAVENSWOOD BUS MAINTENANCE FACILITY		
ENGINEER	ACCAI		
PROJECT NO.	11-011 G01		
DATE	08/11/11	SCALE	AS SHOWN
PROJECT	BROWARD COUNTY RAVENSWOOD BUS MAINTENANCE FACILITY		
ENGINEER	ACCAI		
PROJECT NO.	11-011 G01		
DATE	08/11/11	SCALE	AS SHOWN
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DATE	08/11/11	SCALE	AS SHOWN
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ENGINEER	ACCAI		
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ENGINEER	ACCAI		
PROJECT NO.	11-011 G01		

PROJECT TEAM
 PROFESSIONAL IN CHARGE
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 12701
 APPROVED BY
 DESIGNED BY
 DRAWN BY
 CHECKED BY



BROWARD COUNTY
 COUNTY OF PALM BEACH, FLORIDA
 COUNTY PROJECT NUMBER
 11-011 G01

REGION CONSULTANT



BROWARD COUNTY
 RAVENSWOOD BUS
 MAINTENANCE
 FACILITY

1100 RAVENSWOOD ROAD
 THIRDA BRANCH, FL 33127
 COUNTY PROJECT NUMBER
 11-011 G01

LANDSCAPE
 SHRUB PLAN

SHEET TITLE

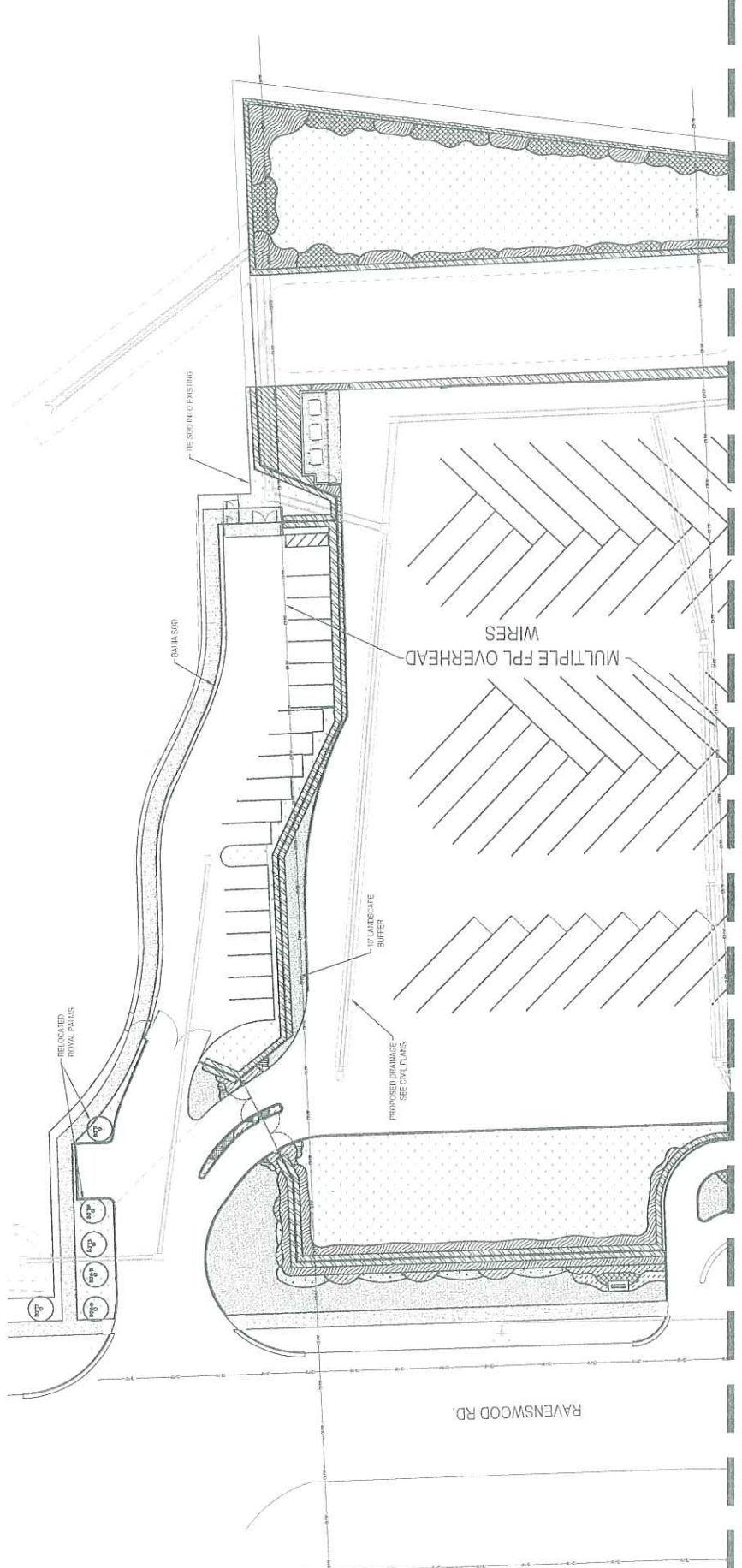


ACCAI
 ARCHITECTURAL CONSULTANTS
 1100 RAVENSWOOD ROAD
 THIRDA BRANCH, FL 33127
 ARCHITECT OF RECORD

11-011 G01

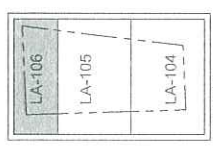
PROJECT NUMBER
 LA-106

SCALE
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 GRAPHIC SCALE IN FEET



SHRUB PLANT SCHEDULE

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1	(Symbol)	FLORIDA PALM	6" - 8" H	10
2	(Symbol)	FLORIDA PALM	8" - 10" H	10
3	(Symbol)	FLORIDA PALM	10" - 12" H	10
4	(Symbol)	FLORIDA PALM	12" - 14" H	10
5	(Symbol)	FLORIDA PALM	14" - 16" H	10
6	(Symbol)	FLORIDA PALM	16" - 18" H	10
7	(Symbol)	FLORIDA PALM	18" - 20" H	10
8	(Symbol)	FLORIDA PALM	20" - 22" H	10
9	(Symbol)	FLORIDA PALM	22" - 24" H	10
10	(Symbol)	FLORIDA PALM	24" - 26" H	10
11	(Symbol)	FLORIDA PALM	26" - 28" H	10
12	(Symbol)	FLORIDA PALM	28" - 30" H	10
13	(Symbol)	FLORIDA PALM	30" - 32" H	10
14	(Symbol)	FLORIDA PALM	32" - 34" H	10
15	(Symbol)	FLORIDA PALM	34" - 36" H	10
16	(Symbol)	FLORIDA PALM	36" - 38" H	10
17	(Symbol)	FLORIDA PALM	38" - 40" H	10
18	(Symbol)	FLORIDA PALM	40" - 42" H	10
19	(Symbol)	FLORIDA PALM	42" - 44" H	10
20	(Symbol)	FLORIDA PALM	44" - 46" H	10



KEY MAP



GRAPHIC SCALE IN FEET
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DATE	DESCRIPTION
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03/23/12	REVISED
04/23/12	REVISED
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DATE	DESCRIPTION
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 PALM BEACH, FL 33480
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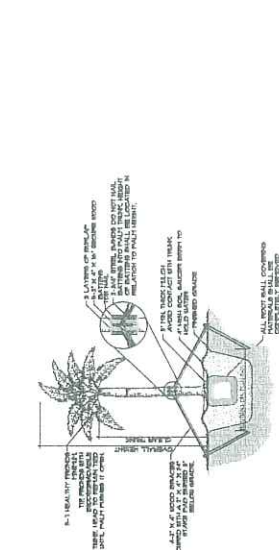
REGION CONSULTANT
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 1400 PALM BEACH BLVD., SUITE 200
 PALM BEACH, FL 33480
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LANDSCAPE DETAILS
SHEET TITLE

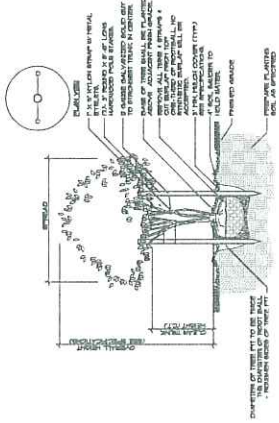
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11-011 G01
PROJECT NUMBER
LA-107
SHEET NUMBER

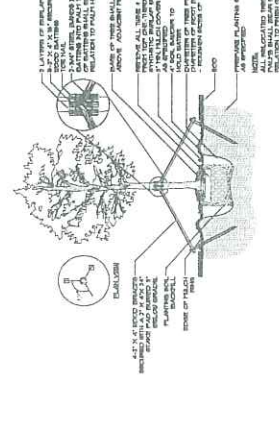
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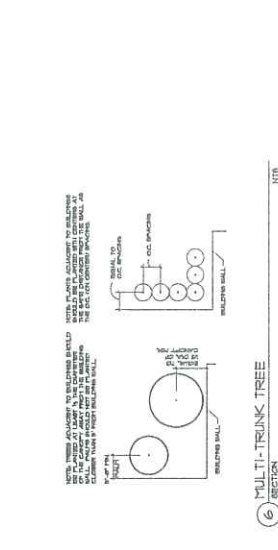
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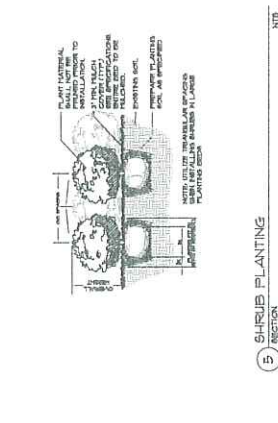
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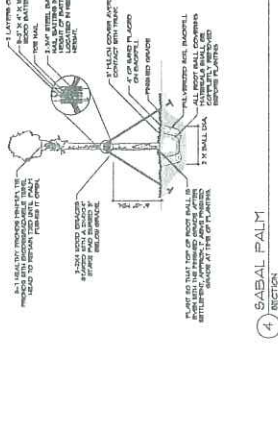
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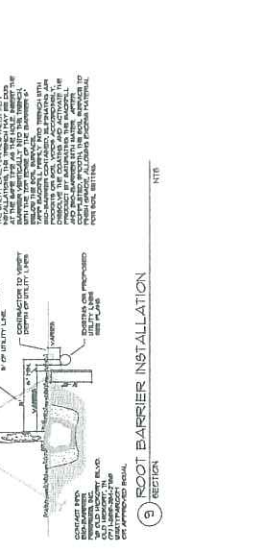
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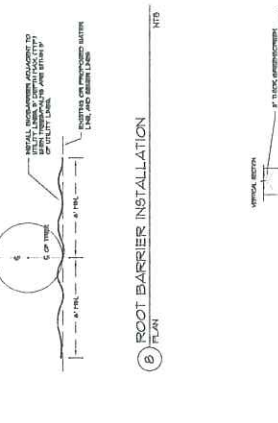
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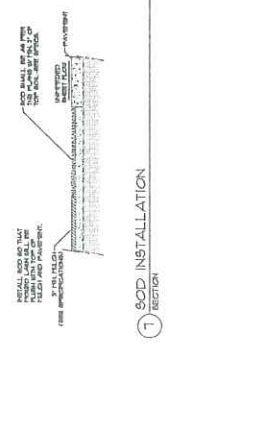
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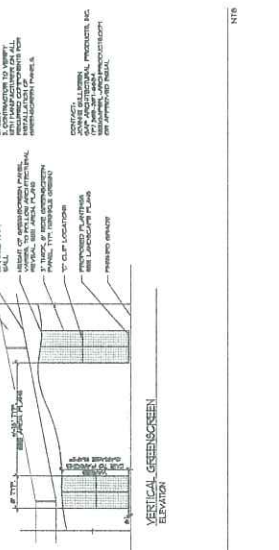
7 ROOT BARRIER INSTALLATION
 SECTION



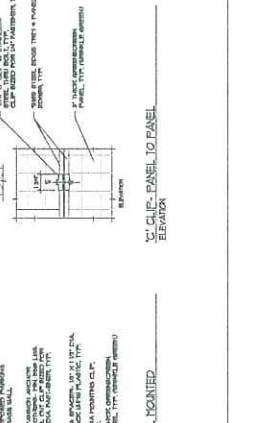
8 ROOT BARRIER INSTALLATION
 PLAN



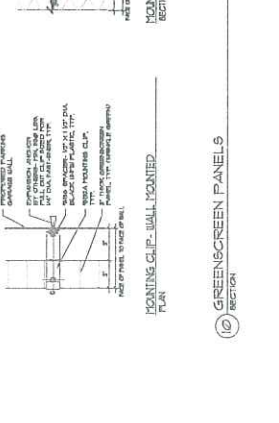
9 SOD INSTALLATION
 SECTION



10 GREENSCREEN PANELS
 SECTION



11 VERTICAL GREENSCREEN
 ELEVATION



12 CLIP PANEL TO PANEL
 ELEVATION



13 WALL MOUNTED
 SECTION

14 CLIP PANEL TO WALL
 SECTION

15 WALL MOUNTED
 SECTION

16 WALL MOUNTED
 SECTION

17 WALL MOUNTED
 SECTION

NO.	DATE	DESCRIPTION
1	02.09.12	FINAL SUBMITTAL
2	03.11.12	REVISIONS
3	04.23.12	FINAL SUBMITTAL
4	05.01.12	REVISIONS
5	05.24.12	FINAL SUBMITTAL
6	06.13.12	REVISIONS
7	06.28.12	FINAL SUBMITTAL
8	07.26.12	REVISIONS
9	08.21.12	FINAL SUBMITTAL

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PROJECT: BRAU PROFESSIONAL IN COLLEGE
 ADDRESS: 1000 W. 10TH ST., SUITE 100, WICHITA, KS 67202
 ARCHITECT: BRY & BRY ARCHITECTS, P.C.
 DESIGNER: BRY & BRY ARCHITECTS, P.C.
 DRAWN BY: [Name]
 CHECKED BY: [Name]



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DESIGN CONSULTANT
BRY & BRY
 ARCHITECTS, P.C.

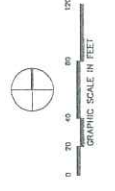
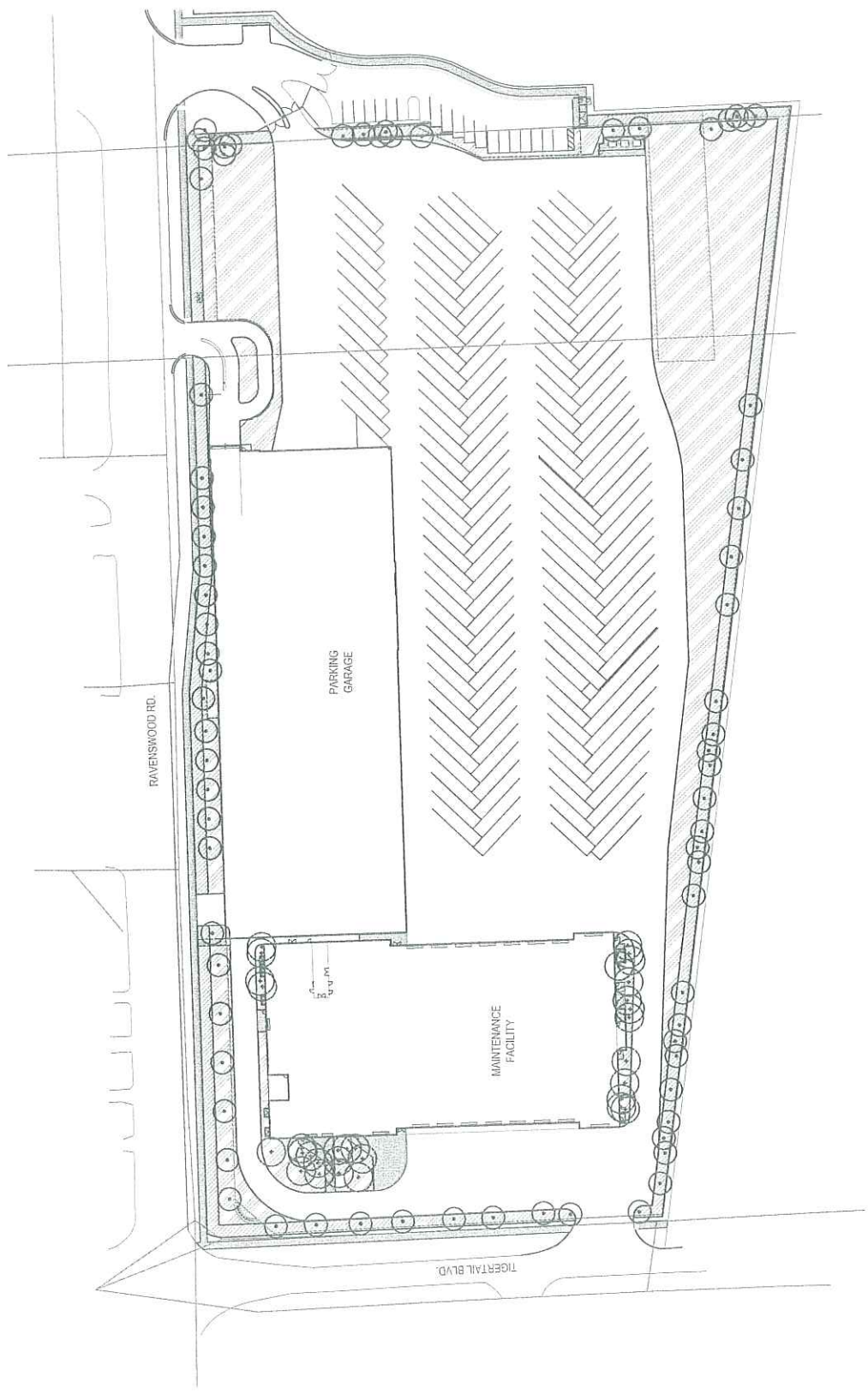
**BROWARD COUNTY
 RAVENSWOOD BUS
 MAINTENANCE
 FACILITY**

1000 RAVENSWOOD ROAD
 WILMINGTON, FL 33411
 CLIENT PROJECT NUMBER:
 11-011

LANDSCAPE
 REQUIREMENT PLAN
 SHEET TITLE

ACA-I
 ARCHITECTURAL CONSULTANTS ASSOCIATION
 11-011 G01
 ARCHITECT OF RECORD

PROJECT NUMBER
LA-109
 SHEET NUMBER
 ARCHITECT OF RECORD
 11-011 G01



LEGEND

NOTE: THIS PLAN IS FOR INFORMATION PURPOSES ONLY. FOR CONSTRUCTION, SEE SHEETS LA-101 THROUGH LA-108

PERMITTED USES

PERMITTED USES

NOT PERMITTED USES